

DEMOLITION NOTES

REMOVAL OF EXISTING STRUCTURES:
 ANY EXISTING STRUCTURE IDENTIFIED ON THE PLAN FOR DEMOLITION, IS TO BE COMPLETELY DEMOLISHED DOWN TO THE FOUNDATION. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL WALLS, ROOFING, FLOORS, FIXTURES, AND UTILITIES WITHIN THE DESIGNATED DEMOLITION AREA.
 ALL DEBRIS, INCLUDING CONSTRUCTION MATERIALS, WASTE, AND HAZARDOUS SUBSTANCES, MUST BE PROPERLY REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS AND ENVIRONMENTAL GUIDELINES.

PROTECTION OF ADJACENT STRUCTURES AND AREAS:
 PRIOR TO DEMOLITION, ENSURE THAT ALL ADJACENT STRUCTURES AND AREAS NOT DESIGNATED FOR DEMOLITION ARE ADEQUATELY PROTECTED TO PREVENT ANY DAMAGE. ERECT TEMPORARY BARRIERS AND SAFETY FENCING AS NEEDED TO SECURE THE DEMOLITION SITE AND PROTECT WORKERS.

UTILITY DISCONNECTIONS AND SAFETY MEASURES:
 ALL UTILITIES (ELECTRICAL, GAS, WATER, SEWAGE, ETC.) MUST BE SAFELY DISCONNECTED OR CAPPED OFF BEFORE THE COMMENCEMENT OF DEMOLITION WORK. FOLLOW ALL SAFETY PROTOCOLS AND GUIDELINES AS PER OSHA AND LOCAL SAFETY STANDARDS TO ENSURE A SAFE DEMOLITION PROCESS.

SITE RESTORATION:
 UPON COMPLETION OF DEMOLITION, THE SITE MUST BE CLEARED OF ALL DEBRIS AND WASTE MATERIALS. THE SITE MUST BE GRADED AS NECESSARY AND RESTORED TO MATCH THE EXISTING SURROUNDINGS, INCLUDING ANY LANDSCAPING FEATURES. THIS INCLUDES ENSURING PROPER DRAINAGE AND PREVENTING EROSION BY STABILIZING THE SOIL.

HARDSCAPE

DESCRIPTION: THE SOLID, HARD, ELEMENTS OR STRUCTURES THAT ARE INCORPORATED INTO LANDSCAPING, THE HARDSCAPE INCLUDES, BUT IS NOT LIMITED TO, STRUCTURES, PAVED AREAS, STAIRS, WALKWAYS, DECKS, PATIOS, ROCKERIES AND RETAINING WALLS, AND SIMILAR CONSTRUCTED ELEMENTS THAT DO NOT HAVE A ROOF. **BUILDINGS, ROOFS AND DRIVEWAY EXCLUDED.**

NET LOT AREA 82,425 SF
ALLOWED HARDSCAPE (9%) 7,418 SF

EXISTING HARDSCAPE
 TENNIS COURT 6,227 SF
 PATIOS 1,506 SF
 WALKWAYS & STAIRS 4,221 SF
TOTAL: 11,954 SF

REMOVED HARDSCAPE 735 SF

NEW HARDSCAPE 230 SF

TOTAL PROJECT HARDSCAPE 11,449 SF

LOT COVERAGE

DESCRIPTION: TOTAL SQUARE FOOTAGE OF FLOOR AREA, BOUNDED BY THE EXTERIOR FACES OF THE BUILDING. (PER KING COUNTY ASSESSOR'S)

GROSS LOT AREA 82,425 SF
NET LOT AREA 82,425 SF
ALLOWED LOT COVERAGE (40%) 32,970 SF

EXISTING LOT COVERAGE
 MAIN STRUCTURE ROOF AREA 13,798 SF
 ACCESSORY BUILDING ROOF AREA SQUARE FEET 4,633 SF
 VEHICULAR USE (DRIVEWAY, PAVED ACCESS EASEMENTS, & PARKING COVERED PATIOS AND COVERED DECKS) 5,245 SF
TOTAL: 24,021 SF

REMOVED LOT COVERAGE 8,671 SF

NEW LOT COVERAGE
 MAIN STRUCTURE ROOF AREA 5,468 SF
 COVERED PATIOS 295 SF
TOTAL: 5,763 SF

TOTAL PROJECT LOT COVERAGE: 21,113 SF 25.6%

GROSS FLOOR AREA

DESCRIPTION: TOTAL SQUARE FOOTAGE OF FLOOR AREA, BOUNDED BY THE EXTERIOR FACES OF THE BUILDING. (PER KING COUNTY ASSESSOR'S)

EXISTING FLOOR AREA:
 BASEMENT *760 SF
 MAIN 8,410 SF
 UPPER 3,010 SF
 GARAGE 2,160 SF
 SPORTS PAVILION 2,480 SF
 MODIFIER (12'-16" = 150%) 0 SF
 MODIFIER (12'-16" = 200%) 1,450 SF
TOTAL: 17,510 SF

REMOVED FLOOR AREA:
 MAIN 1,050 SF
 UPPER 555 SF
 MODIFIER (12'-16" = 150%) 0 SF
 MODIFIER (12'-16" = 200%) 1,450 SF
TOTAL: 3,055 SF

NEW/ADDITION FLOOR AREA:
 UPPER 1,418 SF
 MODIFIER (12'-16" = 150%) 685 SF
 MODIFIER (12'-16" = 200%) 260 SF
TOTAL: 2,363 SF

TOTAL PROPOSED AREA: **16,818 SF

FLOOR AREA ALLOWED 12,000 SF

*BASEMENT NOT INCLUDED IN TOTALS
 **692 SF DECREASE FROM EXISTING NON-CONFORMING STRUCTURE

PROJECT NARRATIVE

GENERAL DESCRIPTION: THIS PROJECT PROPOSES TO REMODEL AN EXISTING 12,180 SF SINGLE FAMILY RESIDENCE BY REMOVING A PORTION OF THE EXISTING HOUSE AND EXPANDING OVER THE EXISTING GARAGE.

DEMOLITION: INCLUDES REMOVING THE MIDDLE PORTION OF THE HOUSE, SEVERAL TRELISES, COLUMNS AND ROOF OVERHANGS, A PERGOLA OFF THE BACK PATIO AND A FIREPLACE CHIMNEY.

NEW CONSTRUCTION: LIMITED TO THE SOUTHERLY PORTION OF THE HOUSE WHICH WILL INCLUDE REMOVAL OF EXISTING INTERIOR WALLS, WINDOW/DOOR OPENINGS, AND AN EXPANSION ON THE UPPER FLOOR OVER THE EXISTING GARAGE. NO PROPOSED EXPANSION OF THE EXISTING HOUSE FOOTPRINT.

LOT ZONING

(MICC 19.02.020)

LOT ZONING: R-15

TOTAL LOT AREA: 82,425 SF (PER SURVEY)

MAX LOT COVERAGE: 40% (<15% LOT SLOPE) = 32,970 SF MAX (IMPERVIOUS SURFACES)

GROSS FLOOR AREA: 12,000 SF OR 40% LOT AREA (WHICHEVER IS LESS)

MAX BUILDING HEIGHT: 30' (FROM AVG. BLDG. ELEV.)
 30' MAX TO PLATE ON DOWNHILL SLOPE
 5.4% (46.0' (HIGH) - 19.0' (LOW) / 496' (DISTANCE))

LOT SLOPE: 5.4% (46.0' (HIGH) - 19.0' (LOW) / 496' (DISTANCE))

SETBACKS/YARDS

FRONT YARD: 20'-0" MIN

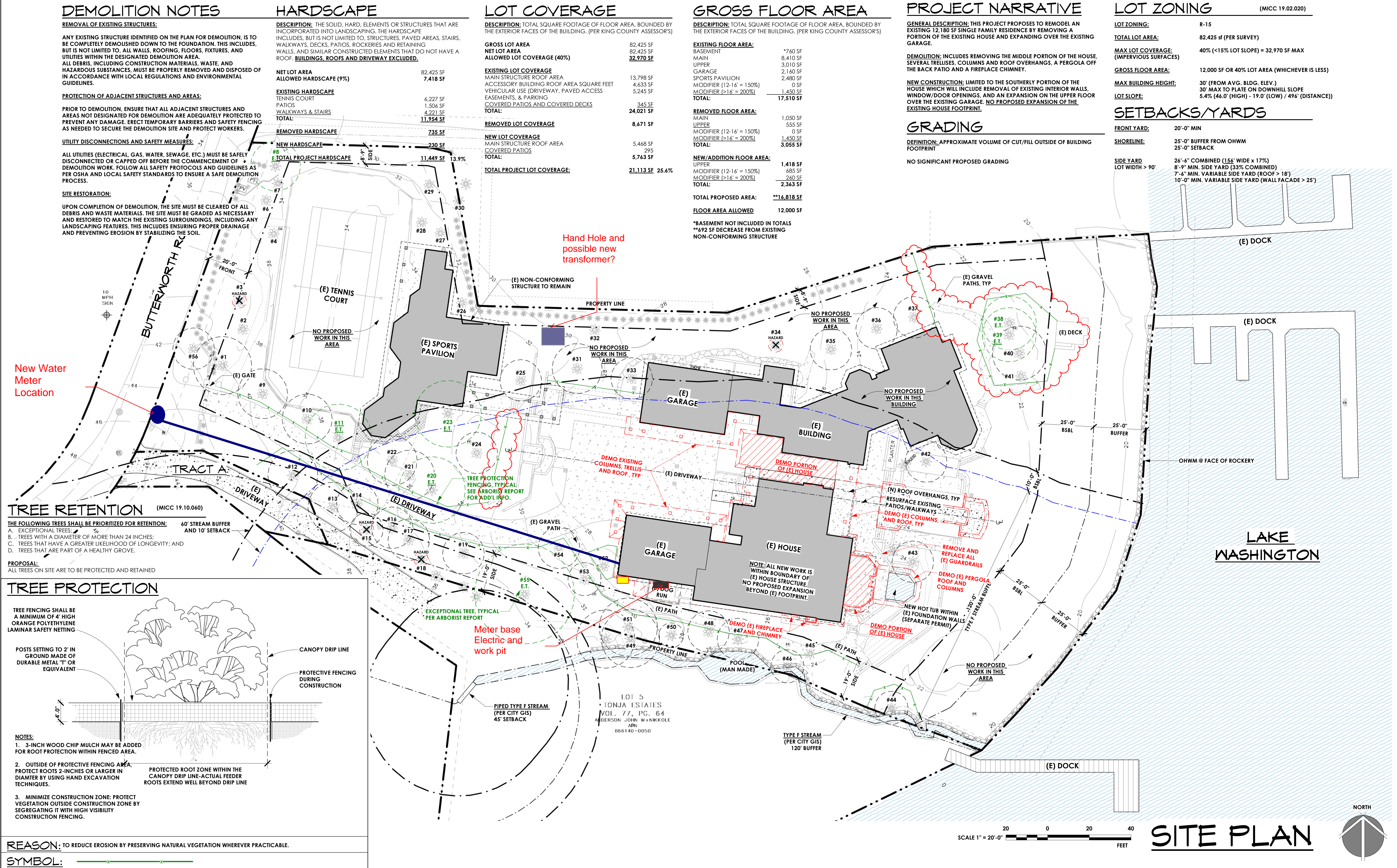
SHORELINE: 25'-0" BUFFER FROM OHWM
 25'-0" SETBACK

SIDE YARD: 26'-6" COMBINED (156' WIDE x 17%)
 8'-9" MIN. SIDE YARD (33% COMBINED)
 7'-6" MIN. VARIABLE SIDE YARD (ROOF > 18')
 10'-0" MIN. VARIABLE SIDE YARD (WALL FACADE > 25')

GRADING

DEFINITION: APPROXIMATE VOLUME OF CUT/FILL OUTSIDE OF BUILDING FOOTPRINT

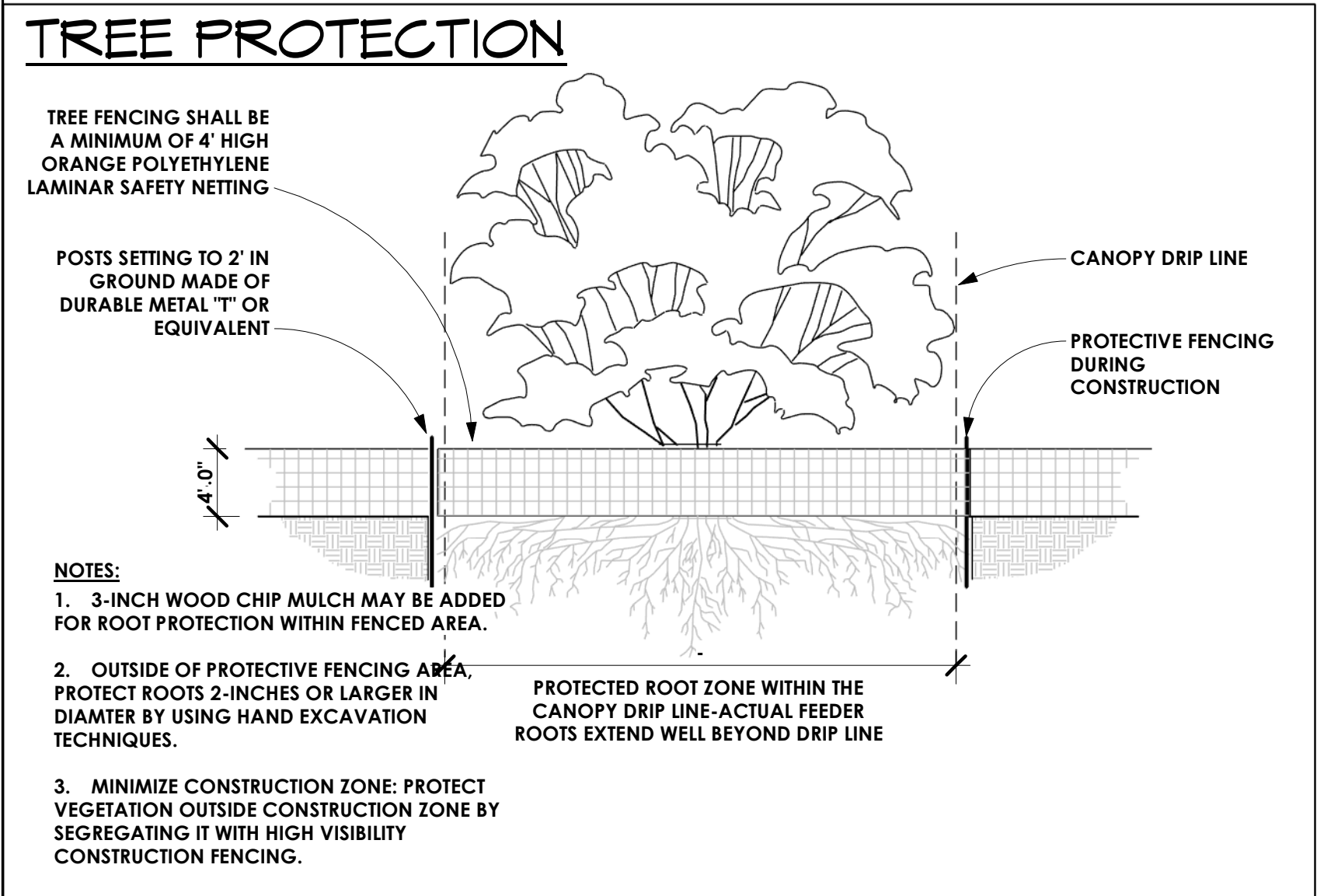
NO SIGNIFICANT PROPOSED GRADING



TREE RETENTION (MICC 19.10.060)

THE FOLLOWING TREES SHALL BE PRIORITIZED FOR RETENTION:
 A. EXCEPTIONAL TREES;
 B. TREES WITH A DIAMETER OF MORE THAN 24 INCHES;
 C. TREES THAT HAVE A GREATER LIKELIHOOD OF LONGEVITY; AND
 D. TREES THAT ARE PART OF A HEALTHY GROVE.

TREE PROTECTION



REASON: TO REDUCE EROSION BY PRESERVING NATURAL VEGETATION WHEREVER PRACTICABLE.

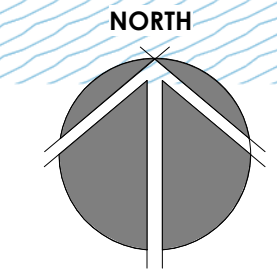
SYMBOL: [Symbol for tree retention]

SCALE THIS DRAWING, IN FEET

0 2 4 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48

SCALE 1" = 20'-0" FEET

SITE PLAN



MacPherson
 Construction & Design
 22605 SE 56th St Suite 140, Issaquah, WA 98029
 PH. 425.391.3333 FAX 425.557.2841

BUTTERWORTH ROAD
 5330 BUTTERWORTH RD.
 MERCER ISLAND, WA 98040
 PARCEL #: 866140-0040
SITE PLAN - REMODEL 1

DATE	REV.	BY	DESCRIPTION
12/10/24		DAN	PERMIT SUBMITTAL
10/31/24	1	DAN	PERMIT RESPONSE 1
12/10/24	2	DAN	PERMIT RESPONSE 2
Date 3	3		PERMIT RESPONSE 2

SHEET NUMBER
A1.0

12/27/2024 3:44:06 PM